

NO.	DESCRIPTION	BY	DATE

FOUNDATION PLAN & FLOOR PLANS

SHEET TITLE:

PROJECT DESCRIPTION:
645 16TH ST NE
WASHINGTON, DC 20002

DRAWINGS PROVIDED BY:
KAE-REE ENTERPRISES
14625 Baltimore Ave. #162
Laurel, MD 20707

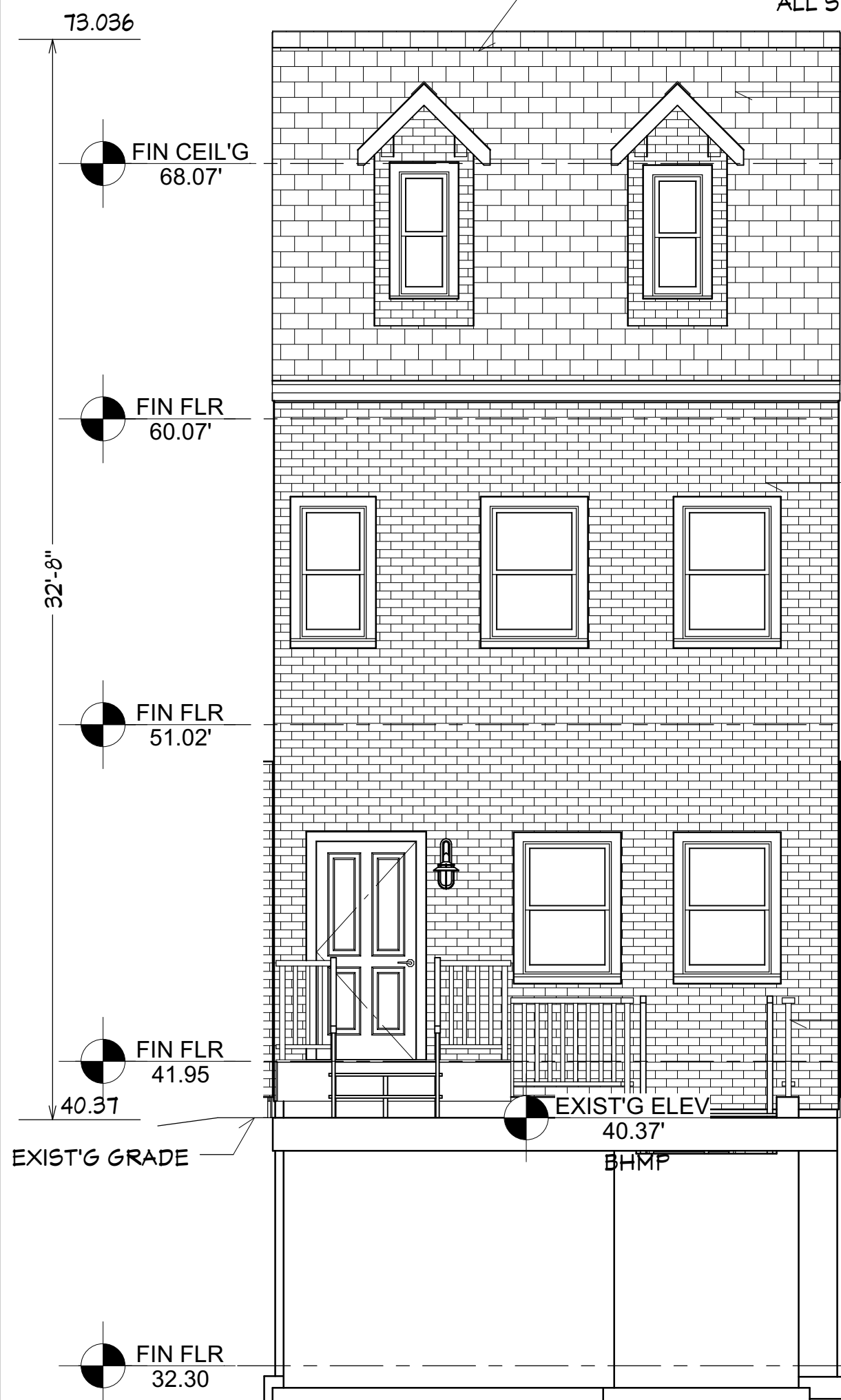
DATE:
6/5/2019

SCALE:
1/4" = 1'-0"

SHEET:
A-1

Board of Zoning & Planning
District of Columbia
CASE NO. 20118
EXHIBIT NO. 6

ROOF TRUSS' SHALL BE DESIGNED, ENGINEERED & SEALED BY THE ROOF TRUSS MANUFACTURER TO MEET ALL STRUCTURAL LOAD REQUIREMENTS.



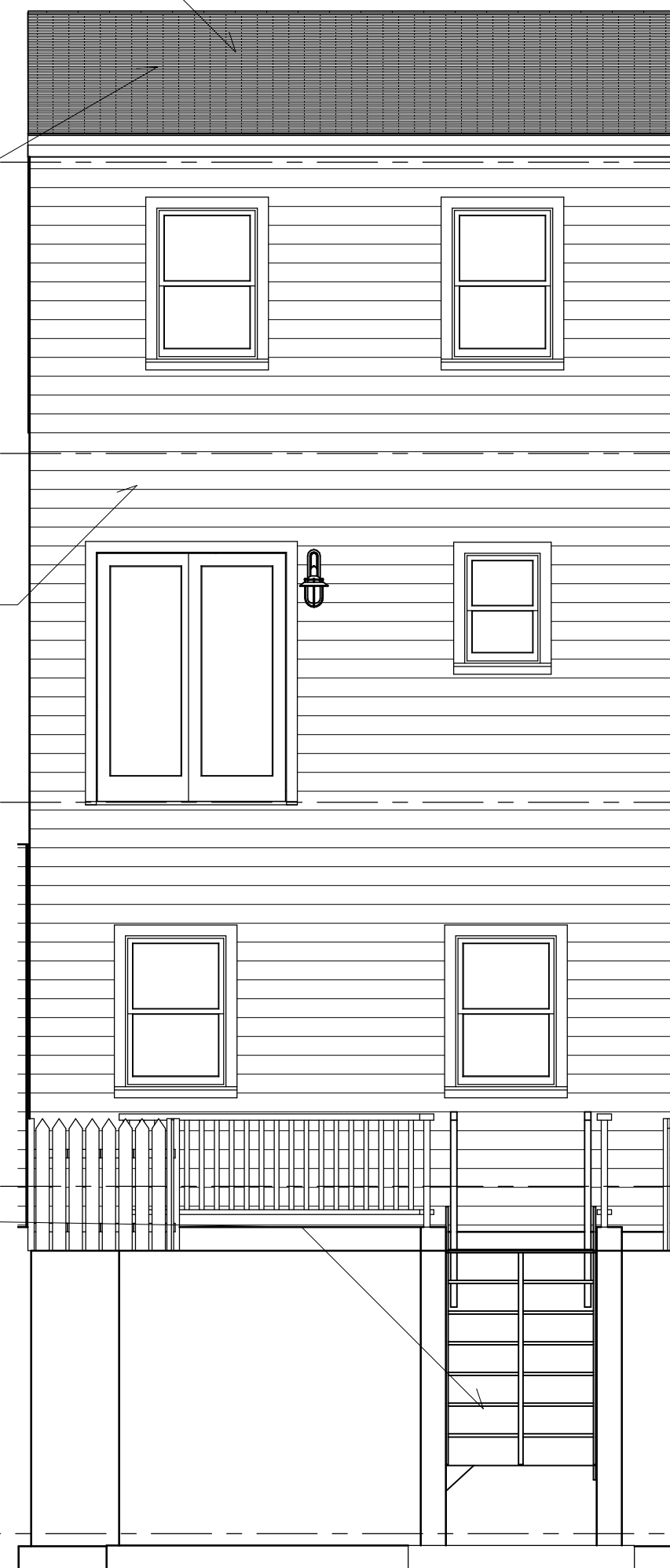
FRONT ELEVATION

SCALE: 1/4" = 1' - 0"

ASPHALT ROOF SHINGLES OVER 30# FELT OVER 1/2" PLYWD SHEATHING.

BRICK VENEER FRONT & VINYL SIDING REAR (OWNER SELECTED) EA.

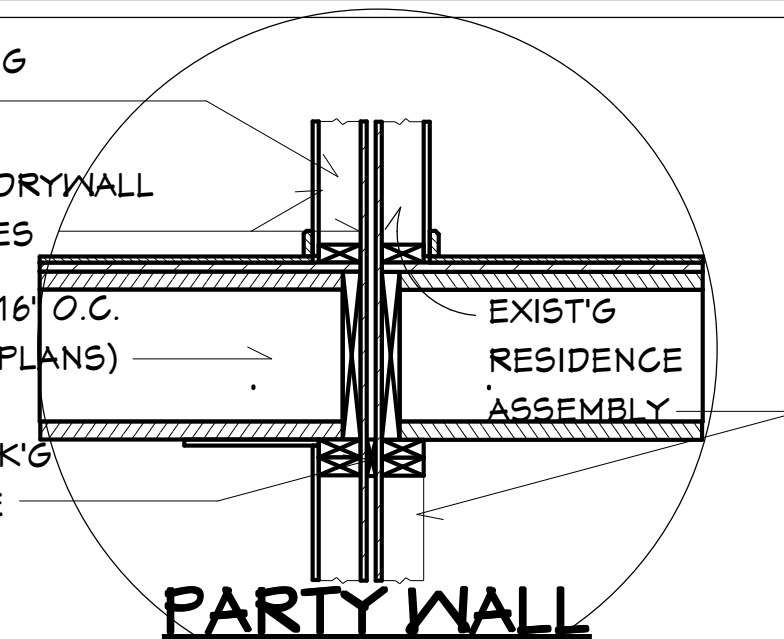
PRE-FABRICATED STEEL STAIR, RAILING, & LANDING



REAR ELEVATION

SCALE: 1/4" = 1' - 0"

2x6 WD FRAM'G @ 16" O.C.
5/8" TYPE "X" DRYWALL ON BOTH SIDES
2x "1" JSTS @ 16" O.C. (SEE FRAM'G PLANS)
2x FIRE BLOCK'G @ TOP PLATE

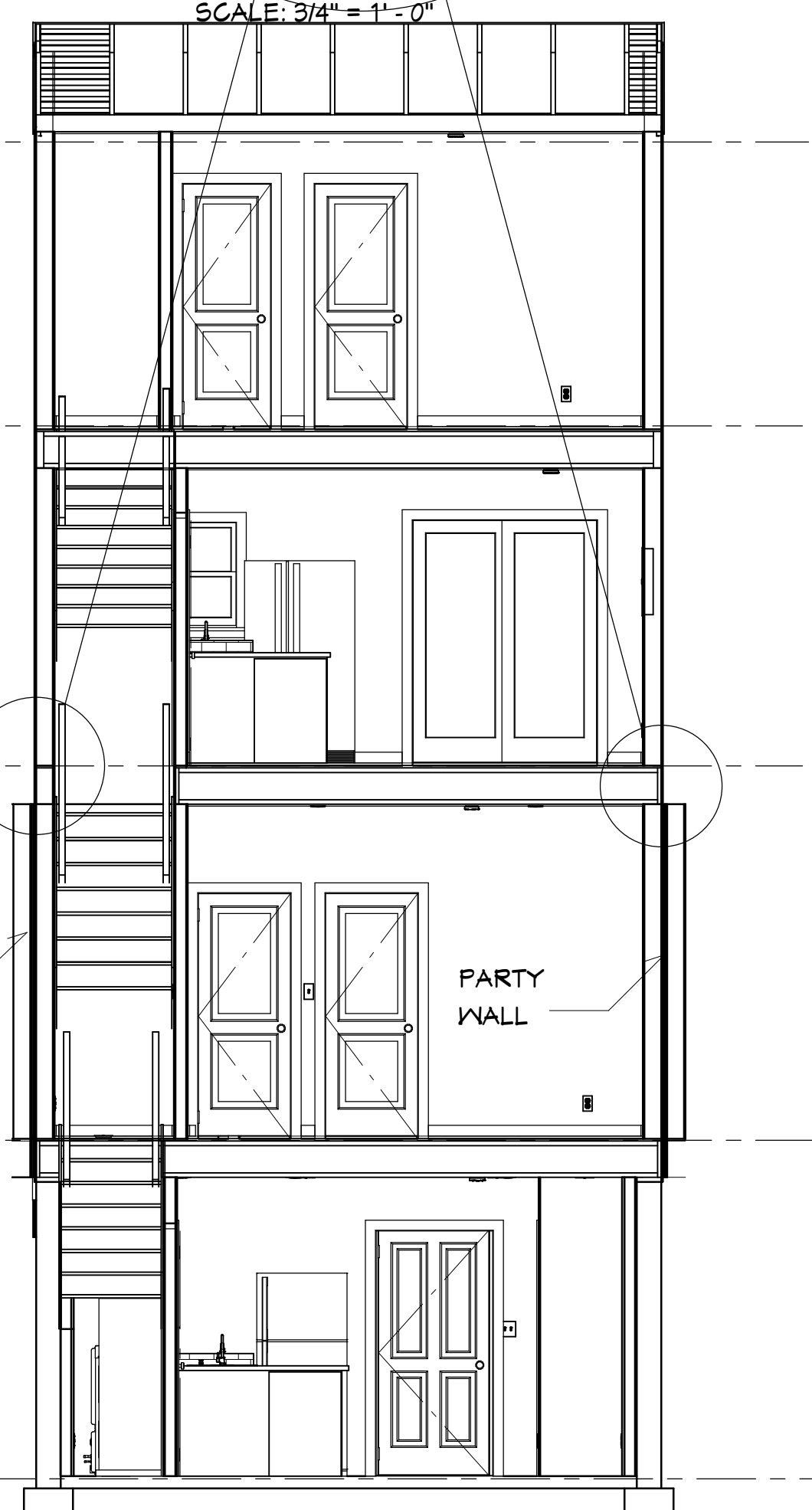


PARTY WALL

SCALE: 3/4" = 1' - 0"

SIMILAR

PARTY WALL



CROSS SECTION

SCALE: 1/4" = 1' - 0"

1
A-2

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
BUILDING ELEVATIONS & CROSS SECTION

PROJECT DESCRIPTION:
**645 16TH ST NE
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DRAWINGS PROVIDED BY:
**KAE-REE ENTERPRISES
14625 Baltimore Ave. #162
Laurel, MD 20707**

DATE:
6/13/2019

SCALE:
1/4" = 1'-0"

SHEET:
A-2

KAE-REE ENTERPRISE

CONSTRUCTION - PROJECT MANAGEMENT - DESIGN

14625 Baltimore Ave #162
Laurel, MD 20707

Phone: 240-882-9389

LIST OF DRAWINGS:

AUGUST 15, 2018

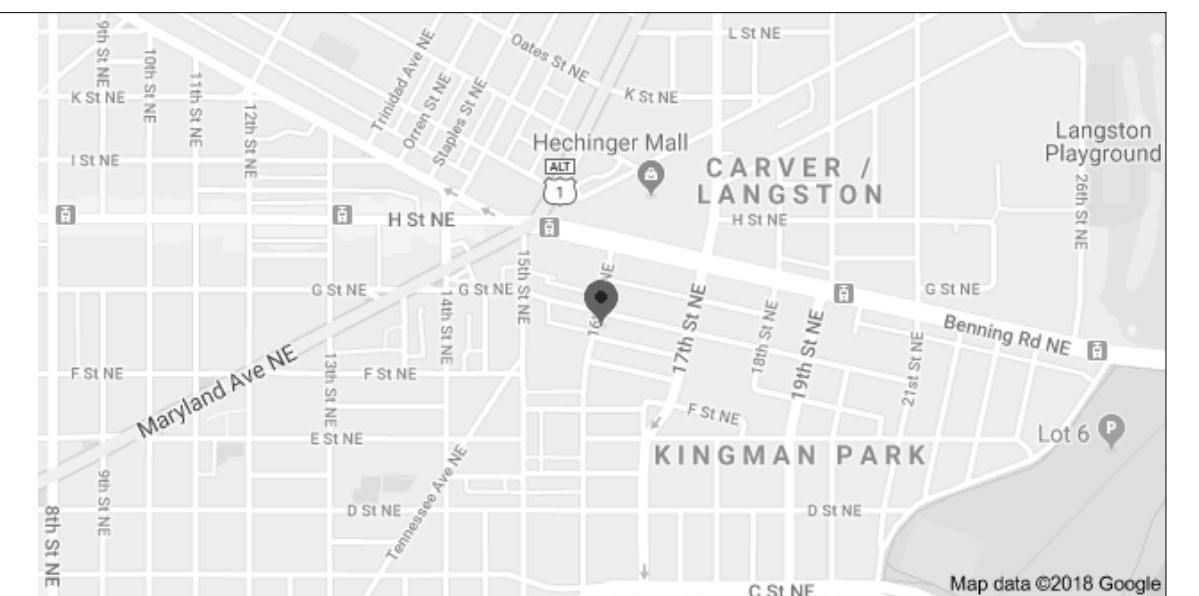
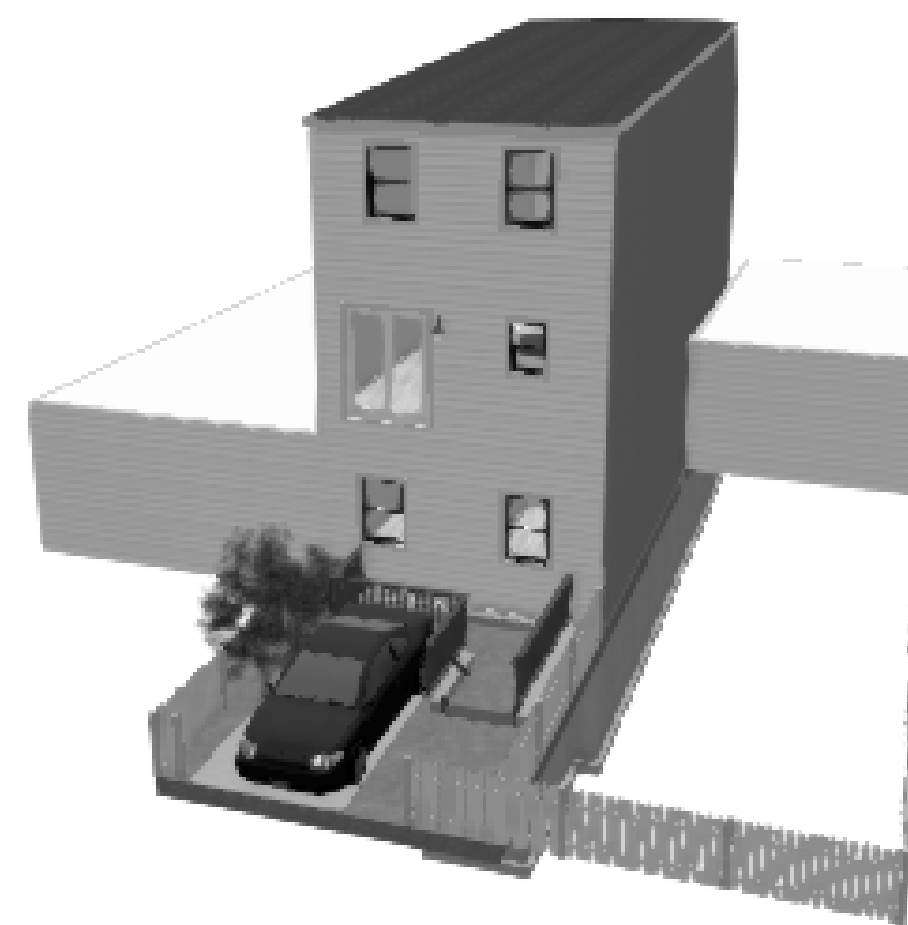
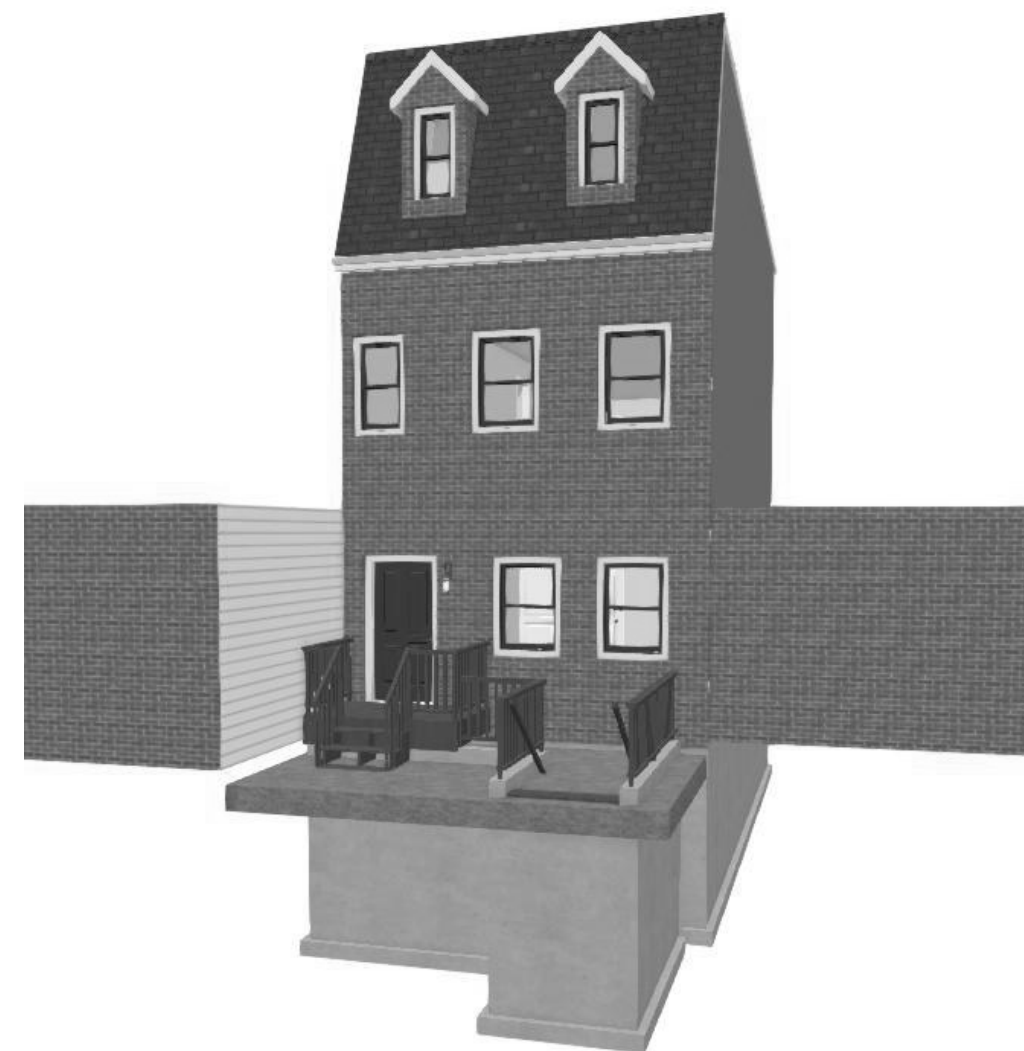
TITLE SHEET
C-1 GENERAL NOTES

ARCHITECTURAL

S-1 FRAMING PLANS OVERVIEW
A-0 ARCHITECTURAL SITE PLAN
A-1 FOUNDATION PLAN FLOOR PLANS
A-2 ELEVATIONS & SECTION
A-3 BUILDING SECTION
A-4 FLOOR FRAMING PLANS
A-5 ROOF FRAMING
A-6 ELEC LEGEND & SCHEDULES
M-1 MECHANICAL LAYOUT PLANS
E-1 ELECTRICAL LAYOUT PLANS
P-1 PLUMBING LAYOUT PLANS

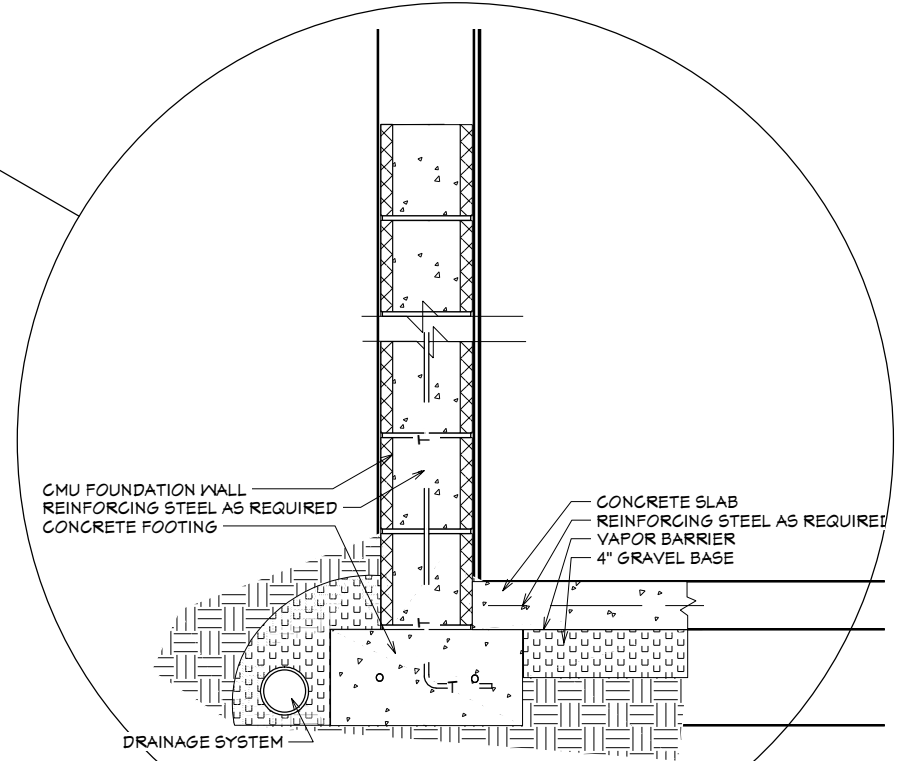
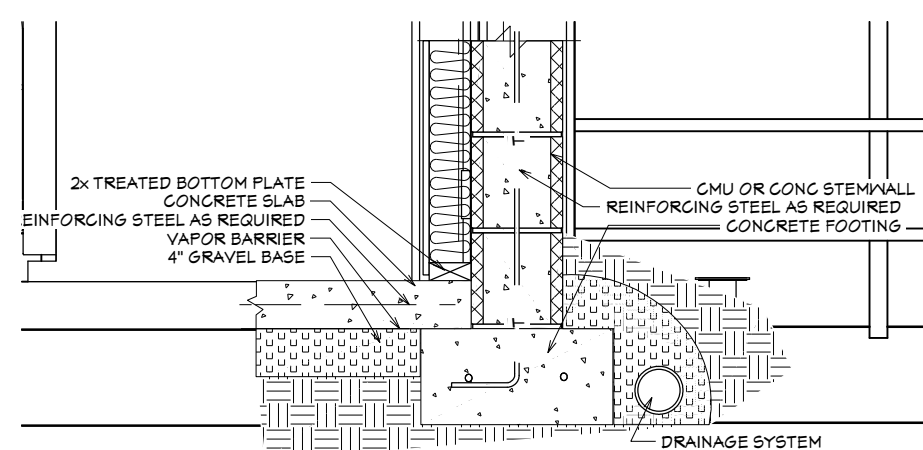
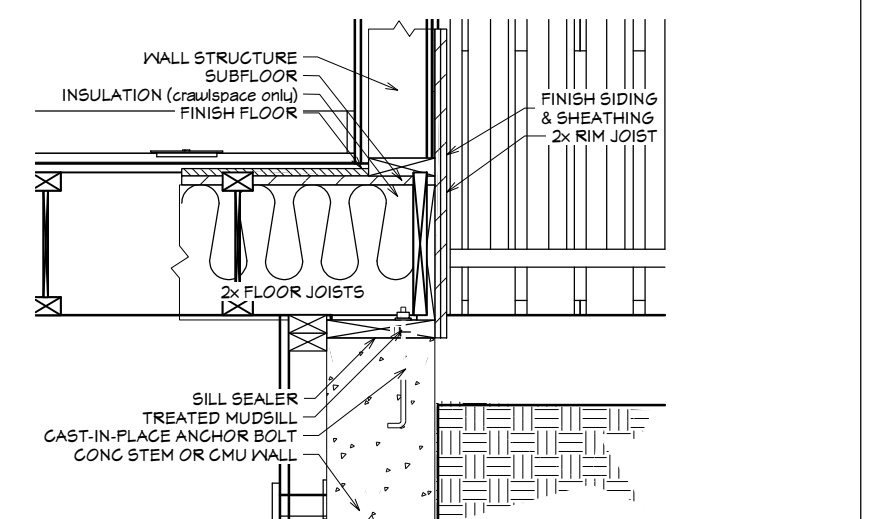
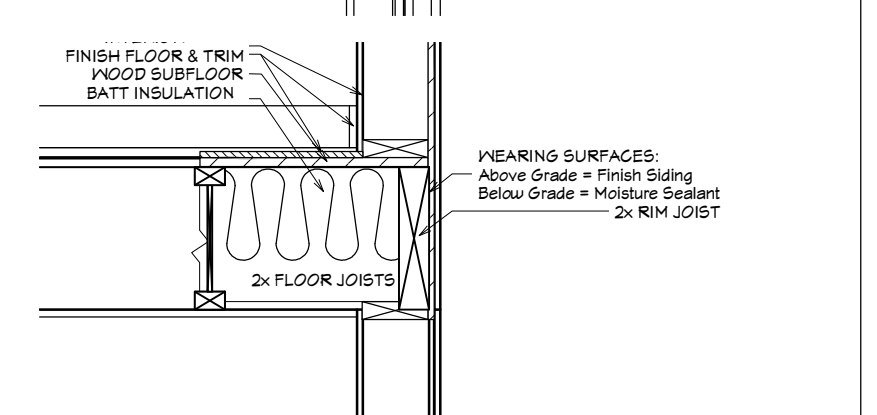
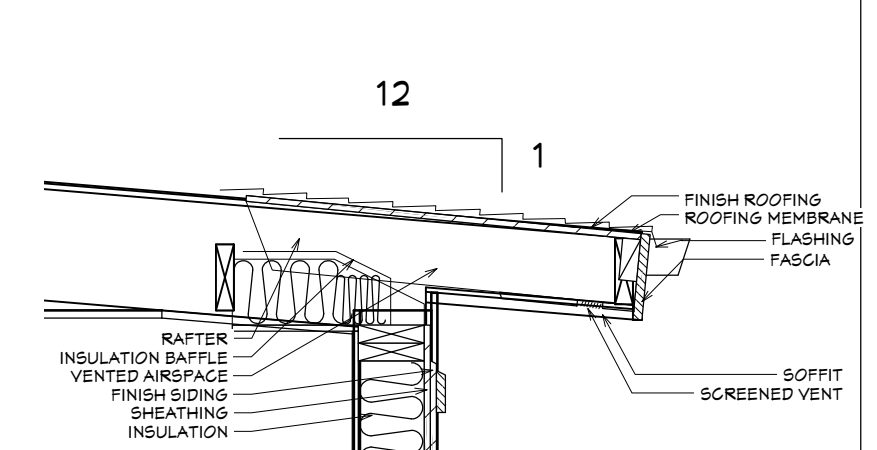
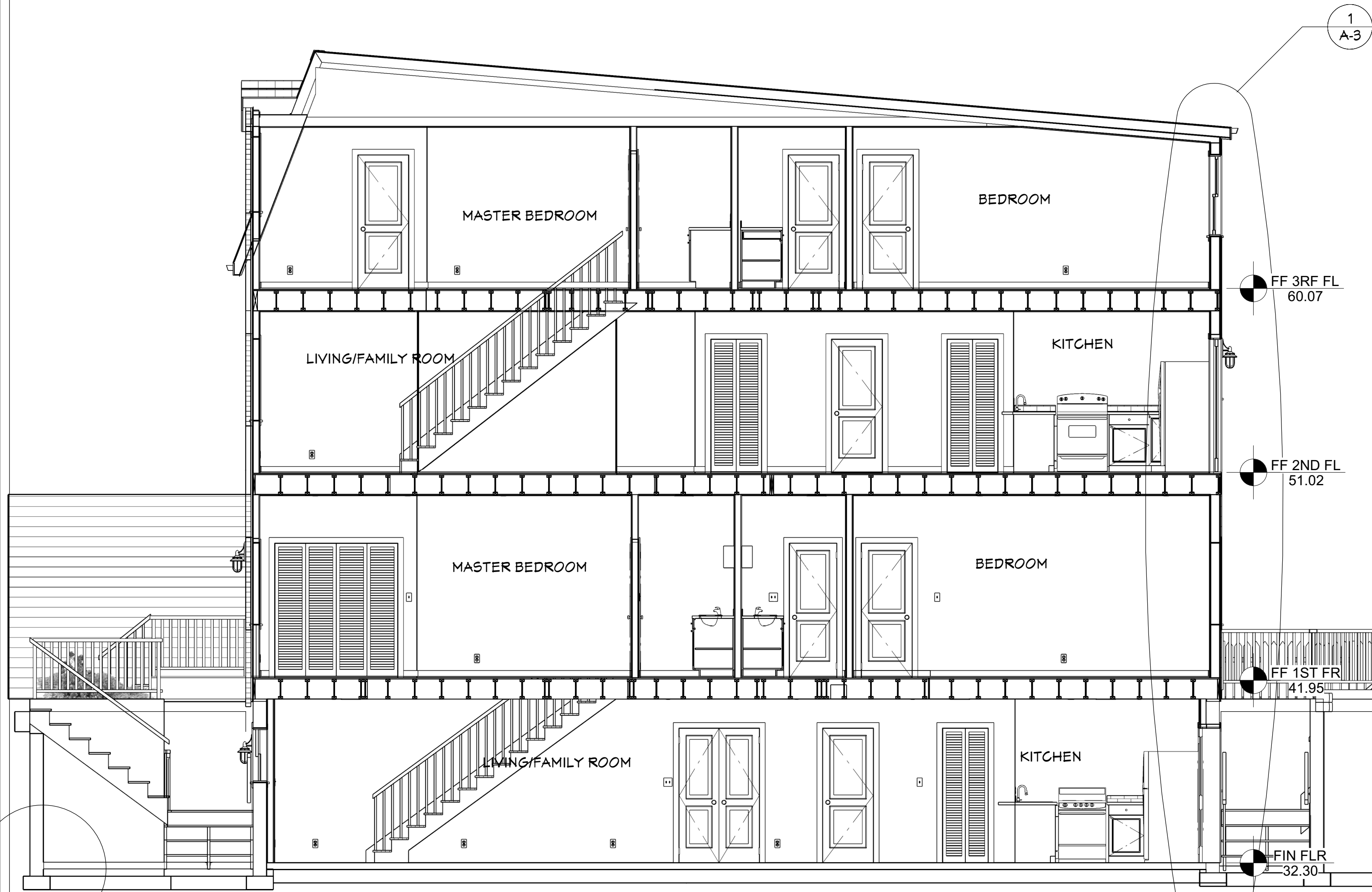
D. WEIR RESIDENCE

645 16TH ST NE
Washington, DC 20002



AREA MAP
N.T.S.





BUILDING SECTION

SCALE: 1/4" = 1' - 0"

1
A-3
WALL SECTION
SCALE: 3/4" = 1' - 0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**BUILDING SECTION &
WALL SECTION DETAILS**

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DRAWINGS PROVIDED BY:
**KAE-REE ENTERPRISES
14625 Baltimore Ave. #162
Laurel, MD 20707**

DATE:
3/24/2019

SCALE:
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SHEET:
A-3



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
FLR FRAMING PLANS

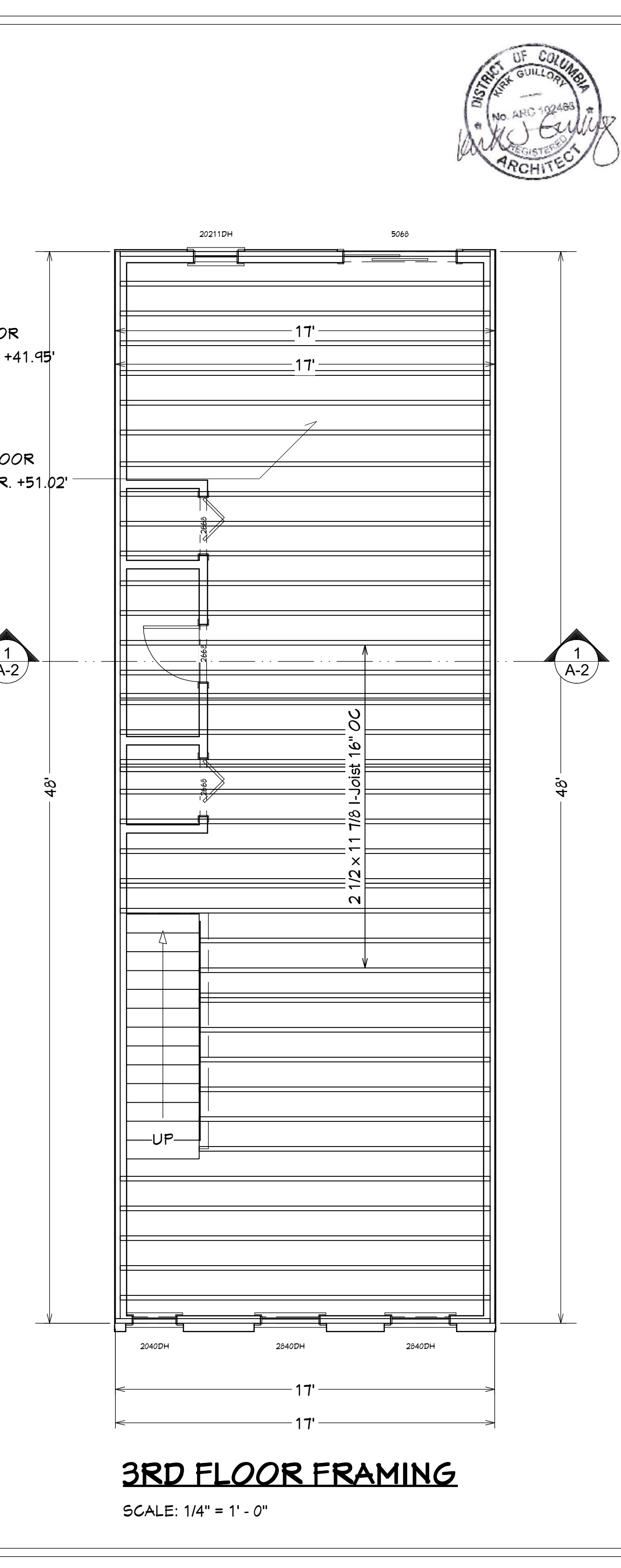
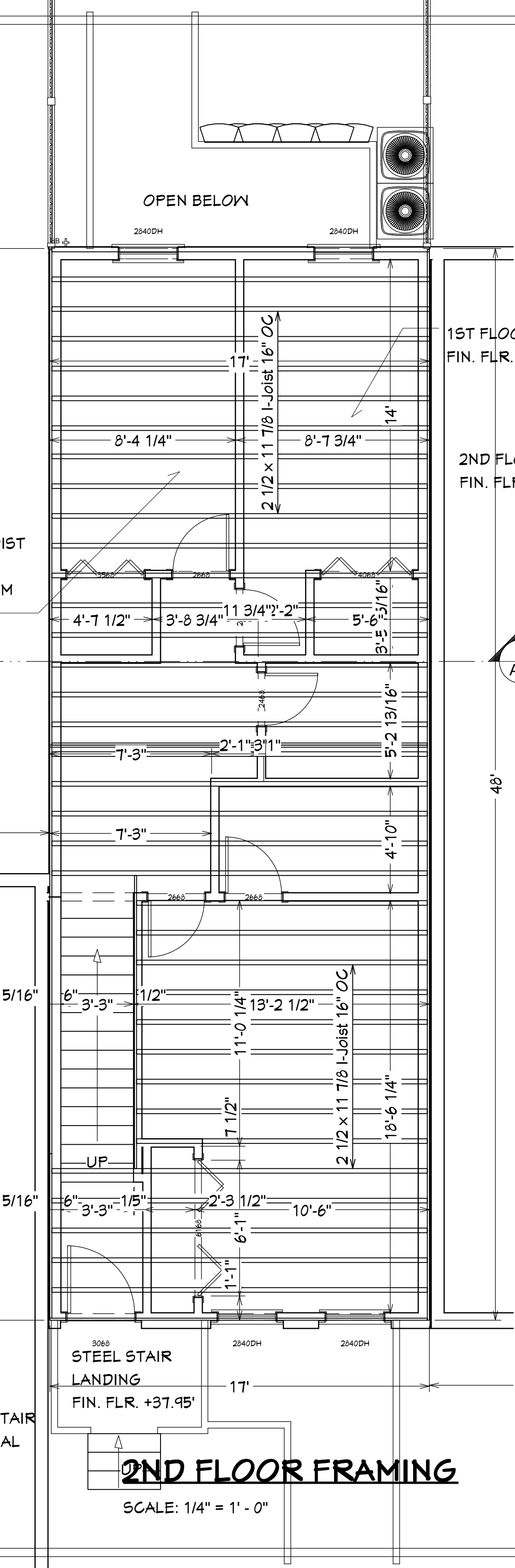
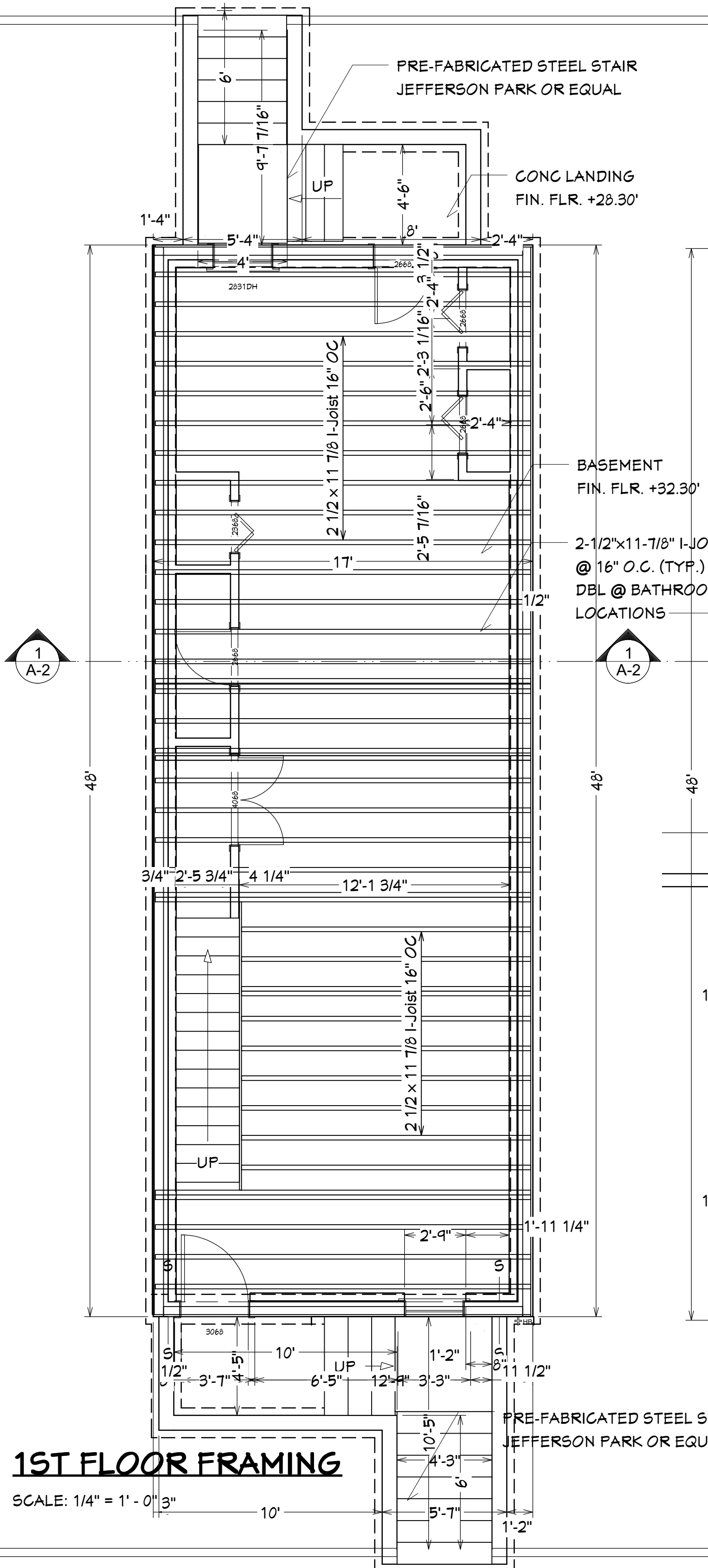
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A-4



OPEN BELOW

1st FLOOR
FIN. FLR. +41.95'

2nd FLOOR
FIN. FLR. +51.02'

STEEL STAIR
LANDING
FIN. FLR. +37.95'

PRE-FABRICATED STEEL STAIR
JEFFERSON PARK OR EQUAL

CONC LANDING
FIN. FLR. +28.30'

BASEMENT
FIN. FLR. +32.30'

2-1/2"x11-7/8" I-JOIST
@ 16" O.C. (TYP.)
DBL @ BATHROOM
LOCATIONS

PRE-FABRICATED STEEL STAIR
JEFFERSON PARK OR EQUAL



ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

ROOF & FLOOR TRUSS MANUFACTURER: _____

FLOOR FRAMING & TRUSS NOTES:

FLOOR: 40 PSF LL.

*10 PSF TOP CHORD DL.

*5 PSF BOTTOM CHORD DL.

FLOORS 3 AND 2 SHALL HAVE 22" FLOOR TRUSSES; BOTTOM FLOOR IS CONCRETE SLAB.

SUB-FLOOR SHEATHING SHALL BE H 1.125". SHEATHING IS REQUIRED FOR ANY LONGITUDINAL(DRAG) FORCES.

TRUSSES SPACED AT 24.0" O/C.

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL PLATES ARE 1.5 X 4 UNO

DEFLECTION MEETS L/480 LIVE AND L/360 TOTAL LOAD.

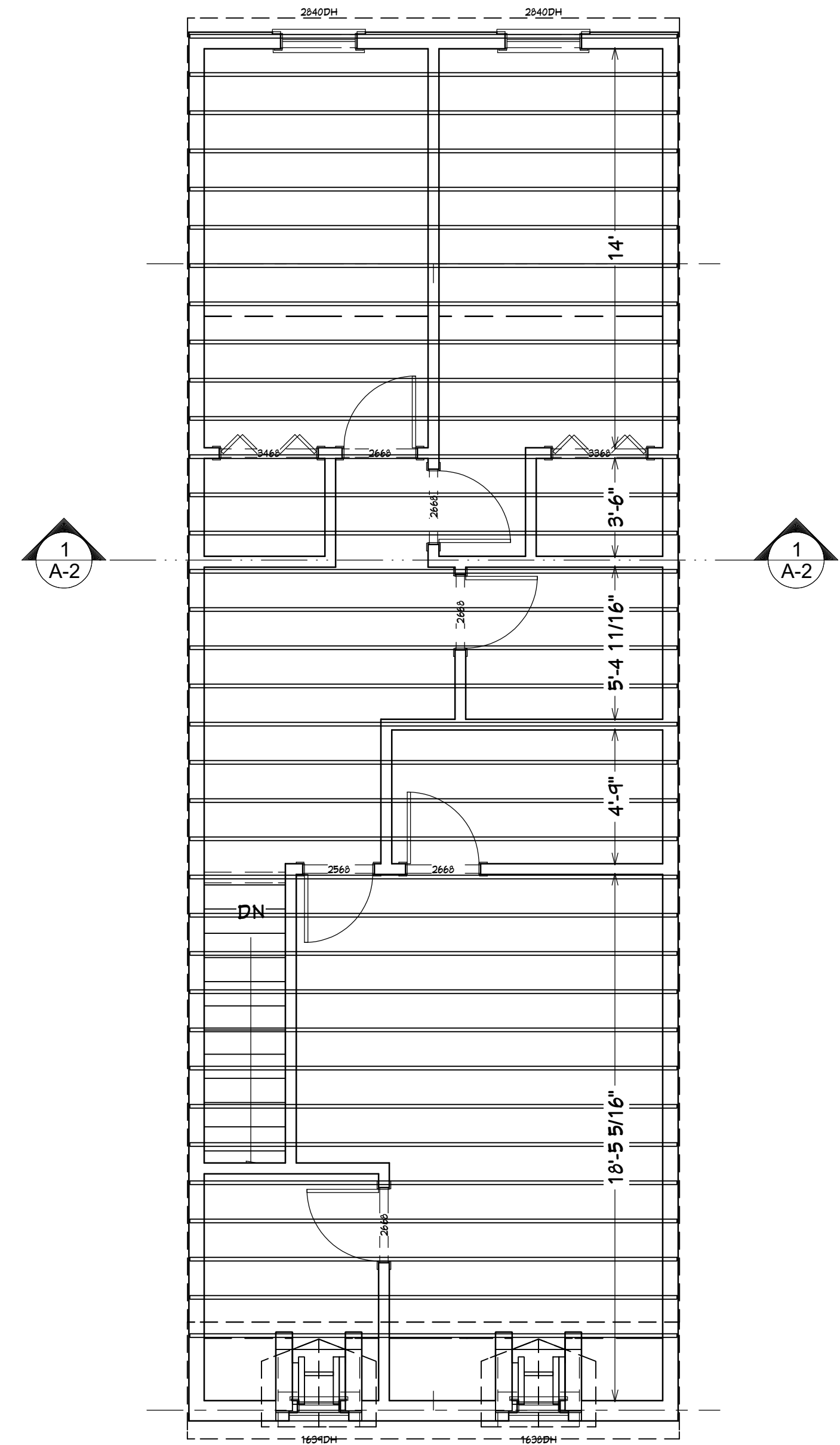
FASTEN RATED SHEATHING TO ONE FACE OF THIS FRAME.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL FLOOR TRUSSES SHALL CARRY MANUFACTURERS STAMP.

FLOOR TRUSS MANUFACTURER: _____



ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"

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ROOF FRAMING PLAN

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3/24/2019

SCALE:
1/4" = 1'-0"

SHEET:
A-5

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELEC. LEGEND

N.T.S.

ELECTRICAL SCHEDULE												
NUMBER	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	ATTACHED TO	DESCRIPTION	CODE	MANUFACTURER	COMMENTS	NUMBER	
E01	1	0	12"	12"	1 1/4"	CEILING	EXHAUST (LIGHT)				E01	
E02	1	0	14 1/4"	3 3/8"	23"	WALL	ELECTRICAL PANEL				E02	
E03	5	0	3"	3/4"	5"	WALL	SINGLE POLE				E03	
E04	3	0	3"	3/4"	5"	WALL	THREE WAY				E04	
E05	1	0	3"	5/16"	5"	WALL	220V				E05	
E06	10	0	3"	5/16"	5"	WALL	DUPLEX				E06	
E07	4	0	3"	5/16"	5"	WALL	GFI				E07	
E08	15	0	4 13/16"	4 13/16"	3/16"	CEILING	RECESSED DOWN LIGHT 4				E08	
E09	2	0	5"	5"	1 1/8"	CEILING	CO/SMOKE DETECTOR				E09	
E10	1	0	9"	9 1/4"	18 5/16"	WALL	CAGED LANTERN SCONCE				E10	
E11	3	1	3"	3/4"	5"	WALL	FOUR WAY				E11	
E12	11	1	3"	3/4"	5"	WALL	SINGLE POLE				E12	
E13	2	1	3"	3/4"	5"	WALL	THREE WAY				E13	
E14	11	1	3"	5/16"	5"	WALL	DUPLEX				E14	
E15	2	1	3"	5/16"	5"	WALL	GFI				E15	
E16	17	1	4 13/16"	4 13/16"	3/16"	CEILING	RECESSED DOWN LIGHT 4				E16	
E17	4	1	5"	5"	1 1/8"	CEILING	CO/SMOKE DETECTOR				E17	
E18	5	1	7 3/4"	6 1/4"	13"	WALL	GRAN TENOS				E18	
E19	2	1	8 1/2"	8 1/2"	3/4"	CEILING	EXHAUST				E19	
E20	1	1	9"	9 1/4"	18 5/16"	WALL	CAGED LANTERN SCONCE				E20	
E21	1	2	14 1/4"	3 3/8"	23"	WALL	ELECTRICAL PANEL				E21	
E22	11	2	3"	5/16"	5"	WALL	DUPLEX				E22	
E23	2	2	5"	5"	1 1/8"	CEILING	CO/SMOKE DETECTOR				E23	
E24	1	2	9"	9 1/4"	18 5/16"	WALL	CAGED LANTERN SCONCE				E24	
E25	20	3	3"	5/16"	5"	WALL	DUPLEX				E25	
E26	4	3	5"	5"	1 1/8"	CEILING	CO/SMOKE DETECTOR				E26	
E27	3	0	3"	3/4"	5"	WALL	FOUR WAY				E27	

WINDOW SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
W01	1638DH	1	3	1638DH	18"	44"	19"X45"		DOUBLE HUNG	2X6X22" (2)			
W02	1639DH	1	3	1639DH	18"	45"	19"X46"		DOUBLE HUNG	2X6X22" (2)			
W03	20211DH	1	2	20211DH	24"	35"	25"X36"		DOUBLE HUNG	2X6X28" (2)			
W04	2040DH	1	2	2040DH	24"	48"	25"X49"		DOUBLE HUNG	2X6X28" (2)			
W06	2840DH	5	1	2840DH	32"	48"	33"X49"		DOUBLE HUNG	2X6X36" (2)			
W07	2840DH	2	2	2840DH	32"	48"	33"X49"		DOUBLE HUNG	2X6X36" (2)			
W08	2840DH	2	3	2840DH	32"	48"	33"X49"		DOUBLE HUNG	2X6X36" (2)			

DOOR SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	CODE	MANUFACTURER	COMMENTS
D01	2368	1	0	2368 R	27"	80"	29"X82 1/2"	2 DR. BIFOLD-LOUVERED	2X6X32" (2)	1 3/8"			
D02	2468	1	1	2468 L IN	28"	80"	30"X82 1/2"	HINGED-DOOR P04	2X6X33" (2)	1 3/8"			
D03	2568	1	3	2568 R IN	28 1/2"	80"	30 1/2"X82 1/2"	HINGED-DOOR P04	2X6X33 1/2" (2)	1 3/8"			
D04	2668	1	0	2668 R	30"	80"	32"X82 1/2"	2 DR. BIFOLD-LOUVERED	2X6X35" (2)	1 3/8"			
D05	2668	1	0	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"			
D06	2668	1	1	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"			
D07	2668	4	1	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"			
D08	2668	1	2	2668 L	30"	80"	32"X82 1/2"	2 DR. BIFOLD-LOUVERED	2X6X35" (2)	1 3/8"			
D09	2668	1	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"			
D10	2668	2	3	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"			
D11	2668	3	3	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"			
D12	2868	1	1	2868 R IN	32"	80"	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)	1 3/8"			
D13	3068	1	0	3068 R IN	36"	80"	38"X82 1/2"	HINGED-DOOR P07	2X6X41" (2)	1 3/4"			
D14	3068	1	1	3068 L EX	36"	80"	38"X83"	EXT. HINGED-DOOR P07	2X6X41" (2)	1 3/4"			
D15	3368	1	3	3368 L/R	39"	80"	41"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X44" (2)	1 3/8"			
D16	3468	1	3	3468 L/R	40"	80"	42"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X45" (2)	1 3/8"			
D17	3568	1	1	3568 L/R	41"	80"	43"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X46" (2)	1 3/8"			
D18	4068	1	0	4068 L/R IN	48"	80"	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X8X53" (2)	1 3/8"			
D19	4068	1	1	4068 L/R	48 1/2"	80"	50 1/2"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X8X53 1/2" (2)	1 3/8"			
D21	5068	1	2	5068 R EX	60"	80"	62"X83"	EXT. SLIDER-GLASS PANEL	2X8X65" (2)	1 3/4"			

PLAN SCHEDULES

N.T.S.



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ELEC LEGEND & SCHEDULES

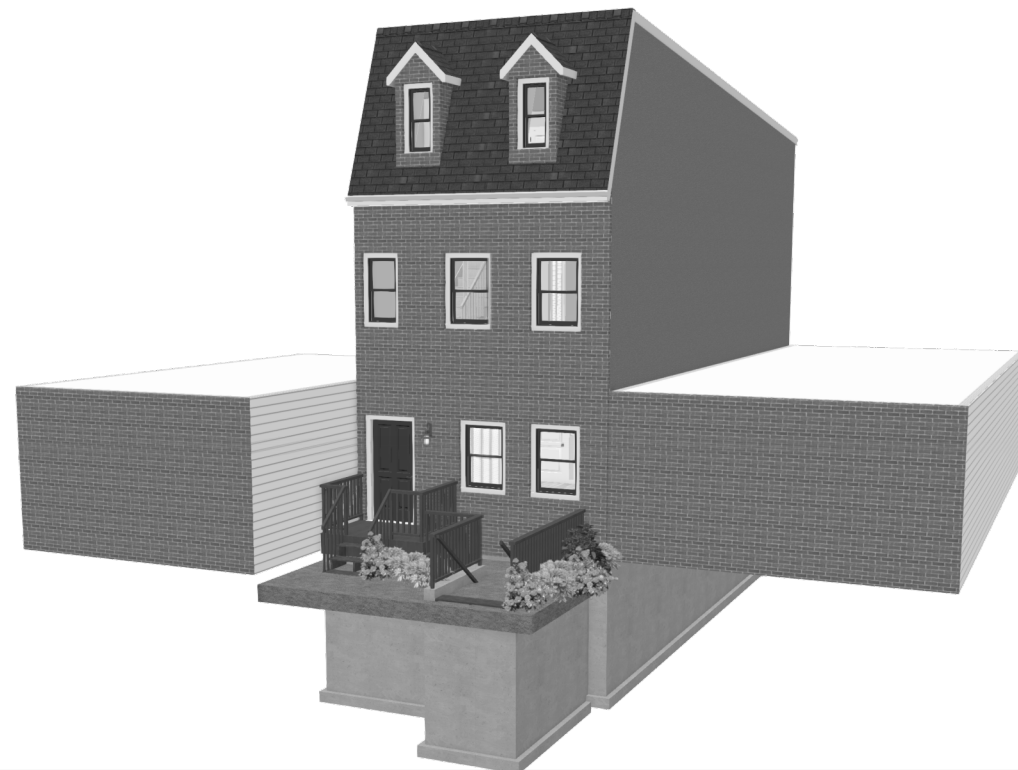
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A-6



GENERAL NOTES

GENERAL CONDITIONS

AIA General Conditions of the Contract for Small Construction govern project. Owner will obtain general building permit. Contractor shall obtain and pay for all other required permits. Contractor shall accept site as he finds it.

DIVISION 1 GENERAL REQUIREMENTS

Submit shop drawings and/or catalog data for all finish materials. Maintain all temporary controls as required by local jurisdiction.

DIVISION 2 SITE WORK

Grading shall be "incidental" & existing natural drainage shall not be altered. Stock pile topsoil existing at new construction area, and replace upon disturbed areas not built upon. Seed all disturbed areas not otherwise covered, using mixture of Ky. Bluegrass and Creeping Red Fescue.

DIVISION 3 CONCRETE

All building concrete shall have minimum compressive strength of 3000 psi at 28 days. Reinforcement shall be steel, ASTM A36.

DIVISION 4 MASONRY

Concrete masonry units (CMU) shall be nominal 8 x 16 in. face, nom. thicknesses shown. Mortar shall be standard grey, Type S.

DIVISION 6 WOOD & PLASTICS

Framing lumber shall be No. 2 Hem-Fir, Fb=1150 psi; E=1.4 x 10¹⁰ 15/25, or similar lumber of equivalent design strengths. All lumber s4s, graded in accordance w/ applicable specie grading rules; max. 19% moisture content. Use for all joists, beams, posts and rafters. Studs shall be stud grade Hem-Fir, Fb=125; furring other incidental wood may be Utility Grade Hem-Fir. Plywood sheathing shall be 24/0 B/C Group 1 ext. grade at roof. Plywood sheathing shall be 24/16 B/C Group 1 ext. grade at ext. walls within 4 feet of corners. Exterior trim shall be mill std. wood such as So. Pine or Spruce, paint grade. Interior trim shall be mill std. wood such as So. Pine or Spruce, paint grade.

DIVISION 7 THERMAL & MOISTURE PROTECTION - N.I.C.

Batt insulation shall be foil-backed fiberglass blankets; per 2015 IRC. Perimeter under-slab insulation shall be Dow "Styrofoam." Roofing shall be std. asphalt shingles, self-sealing, 345-lb, w/class 15 asphalt-saturated felt underlayment. Shingle color to be selected by Owner. Gutters and downspouts shall be min. .0024 in. alum., pre-finished. Exposed flashing shall be pre-finished alum. Concealed flashing may be metal or plastic sheet. Calk and seal as necessary & as standard for type of work.

DIVISION 8 DOORS & WINDOWS

Wood doors shall match existing. Provide all necessary builders hardware. Lockset design shall be selected by Owner. New windows/deck door assembly shall be Andersen 5060 sliding Glass door w/ screen. Sidelights shall be fixed glass. All gl. Double-glazed clear. Frame shall have Perma-Shield ext. Similar units by Pella. Weathershield, Pozzi acceptable. Skylight shall be 2' x 3' unit, dbl-glazed clear., in Perma-shield wood frame.

DIVISION 9 FINISHES

Drywall shall be std. gypsum drywall, 1/2 in. tapered; prepared ready to receive paint. Use water-resistant type at bathroom. Ceramic floor tile shall be std. USA-made random-pattern non-skid mosaic, thin-set. Provide marble threshold at entrance. Carpet shall be installed on a Time-and-Materials basis, carpet to be selected by Owner. Paint shall be mfr's std. top-line materials. Color(s) shall be selected by Owner. Provide primers as recommended by paint mfr. as appropriate to each substrate. Provide min. 2 coats or complete coverage. Back-prime exterior wood trim. Flints shall be flat except where noted otherwise.

DIVISION 10 SPECIALTIES

Toilet accessories shall be selected by owner. Ceramic accessories acceptable where applied to ceramic tile surface. Provide 1 paper holder at water closet, 1 24-in. towel bar, 1 soap dish, 1 glass/brush holder, soap/grab each at tub & shower, 1 shower curtain rod at shower, 1 surface-mtd. mirrored med. cabt.

DIVISION 11 EQUIPMENT

Vanity cabinet shall be wood finished, color/pattern to be selected by Owner. Countertops, backsplashes and endsplashes shall be selected by owner.

DIVISION 12, 13, 14 not used.

DIVISION 15 MECHANICAL

Adjustments to the HVAC is NOT INCLUDED in this contract. Owner shall coordinate any adjustments through the General Contractor and a Licensed HVAC Sub-contractor. All plumbing and fixture installations shall be permitted and coordinated with the Owner, General Contractor and a Licensed Plumber to include any and all required plumbing piping, all registers. Waste piping shall be PVC below grade, PVC above grade. Supply piping shall be Type L copper. Provide 1/2 in. runouts to ea. fixture, w/ air cushion at ea. riser. Provide cutoffs at ea. fixture group/at ea. water closet. Plumbing fixtures shall be white, provide water-saver type as required by code. Fixtures shall be selected by Owner, install on a Time-and-Materials basis.

DIVISION 16 ELECTRICAL

Electrical shall be new 200 amp service for each unit to be located as shown on plan. Switches by Owner. Cover plates by Owner. Electrical Contractor shall verify all electrical codes & is responsible for all permits. Light fixtures shall be selected by Owner, & coordinated with the Electrician & General Contractor for location.

NOTES, CODE ANALYSIS, AND DESIGN LOADS

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE 2012 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS

ALL FOOTINGS FOR THE EXISTING STRUCTURE ARE EXISTING AND ARE 3000 PSI CONCRETE. NEW FOOTINGS FOR THE POSTS SHALL BE 3000 PSI CONCRETE

ANY & ALL EXTERIOR LUMBER SHALL BE PRESSURE TREATED LUMBER EXCEPT FOR COMPOSITE STAIR TREADS AND FASCIA BOARDS.

GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AS LOCAL CODES DICTATE.

BUILDING DESIGN LOADS: LIVE LOADS DEAD LOADS P.S.F

ROOF	30	10
ATTIC	30	10
2ND FLOOR	40	20

SOIL BEARING ASSUMED AS: 2000 P.S.F.

SCOPE OF WORK:

NEW CONSTRUCTION OF A TWO UNIT APARTMENT DWELLING IN WASHINGTON, DC, CONSISTING OF A BASEMENT, 1ST FLOOR, AND 2ND FLOOR & 3RD FLOOR. ALL WORK TO BE NEW.

BASEMENT CONSIST OF THE 1ST FLOOR OF A TWO STORY UNIT TO INCLUDE AN OPEN PLAN FAMILY ROOM, KITCHEN, 1/2 BATH, UTILITY, & LAUNDRY ROOM. THE 1ST FLOOR (MAIN LEVEL) INCLUDES THREE BEDROOMS, & TWO FULL BATHS. FLOORS TWO AND THREE REPEAT THE BASEMENT AND 1ST FLOOR

BUILDING CODE ANALYSIS	EXISTING BUILDING	PROPOSED ALTERATION	ALLOWED
OCCUPANCY CLASSIFICATION	R-3	R-3	SINGLE
FAMILY DWELING			
TYPE OF CONSTRUCTION	III B	III B	NO CHANGE
NUMBER OF STORIES ABOVE GRADE	2	NO CHANGE	NO CHANGE
HIGH RISE (Y/N)	N	N	N/A
SPRINKLERED	N	N	Y
ZONE		N/A	Y
FLOOR AREA OF RENOVATION IN SQ.FT	1290	NO CHANGE	Y

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Panel, Ceiling Mounted, Panel Mounted
	Ceiling Mounted Light Fixture, Surface/Pendant, Flush Mounted, Suspended, Down Rod, Down Rod
	Panel Mounted Light Fixture, Flush Mounted, Panel Mounted
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles, Duplex, Heater Proof, GFCI
	Switches, Single Pole, Heater Proof, 3 Pole, 4 Pole
	Switches, Dimmer, Timer
	Audio Video Control Panel, Button
	Speakers, Ceiling Mounted, Panel Mounted
	Panel Jacks, CAT5, CAT5e, TV, TV/Cable
	Telephone Jack
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detector, Ceiling Mounted, Panel Mounted
	Electrical Breaker Panel

ELECTRICAL NOTES:

NOTE:

ALL SMOKE/CO ALARMS SHALL BE HARD-WIRED TO THE ELECTRICAL PANEL

ALL NEW RECEPTACLES IN HABITAT SPACES SHALL BE AFCI UNLESS OTHERWISE NOTED

ALL ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL D.C.E.C. & N.E.C. ELECTRICAL CODES

CONTRACTOR SHALL VERIFY ALL CONDITIONS AT SITE PRIOR TO STARTING WORK & AS WORK PROGRESSES

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
GENERAL NOTES

PROJECT DESCRIPTION:
**645 16TH ST NE
Washington, DC 20002**

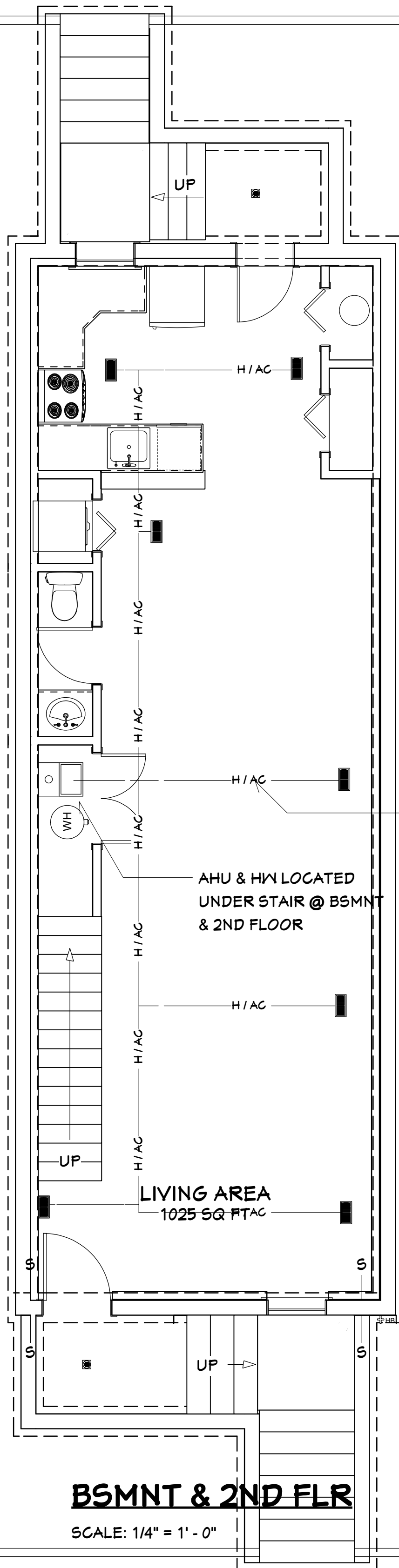
DRAWINGS PROVIDED BY:
**KAE-REE ENTERPRISE
14625 Baltimore Ave #162
Laurel MD, 20707**

DATE:
3/24/2019

SCALE:

SHEET:

C-1



BSMNT & 2ND FLR

SCALE: 1/4" = 1' - 0"

CONDENSOR UNITS
1 UNIT FOR EA 2-STORY
UNIT.

ELECTRICAL DISCONNECTS
1 DISCONNECT PER
CONDENSOR UNIT.

SUPPLY DUCT & REGISTERS
CEIL'G REGISTERS @ BSMNT
FLR REGISTERS @ 1ST FLR.

AHU & HW LOCATED
UNDER STAIR @ BSMNT
& 2ND FLOOR

LIVING AREA
2307 SQ FT

1ST & 3RD FLR

SCALE: 1/4" = 1' - 0"

GENERAL PLUMBING & HVAC NOTES:

1. HVAC SHALL BE SEPARATE FOR EACH UNIT, ONE FOR TWO FLOORS EACH.
2. THE FURNACE AND WATER HEATER ON THE BASEMENT AND 2ND FLOOR.
3. THE FURNACE AND WATER HEATER ON FLOOR 2 SHALL SERVE FLOORS 2 & 3.
4. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
5. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
6. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
7. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
8. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
9. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
10. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
11. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS.
12. INSULATE WASTE LINES FOR SOUND CONTROL.
13. INSTALL CENTRAL VACUUM SYSTEM & PIPING; CONFIRM BRAND WITH HOMEOWNER.



NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**MECHANICAL
LAYOUT PLAN**

PROJECT DESCRIPTION:
**645 16TH ST NE
WASHINGTON, DC 20002**

DRAWINGS PROVIDED BY:
**KAE-REE ENTERPRISES
14625 Baltimore Ave. #162
Laurel, MD 20707**

DATE:

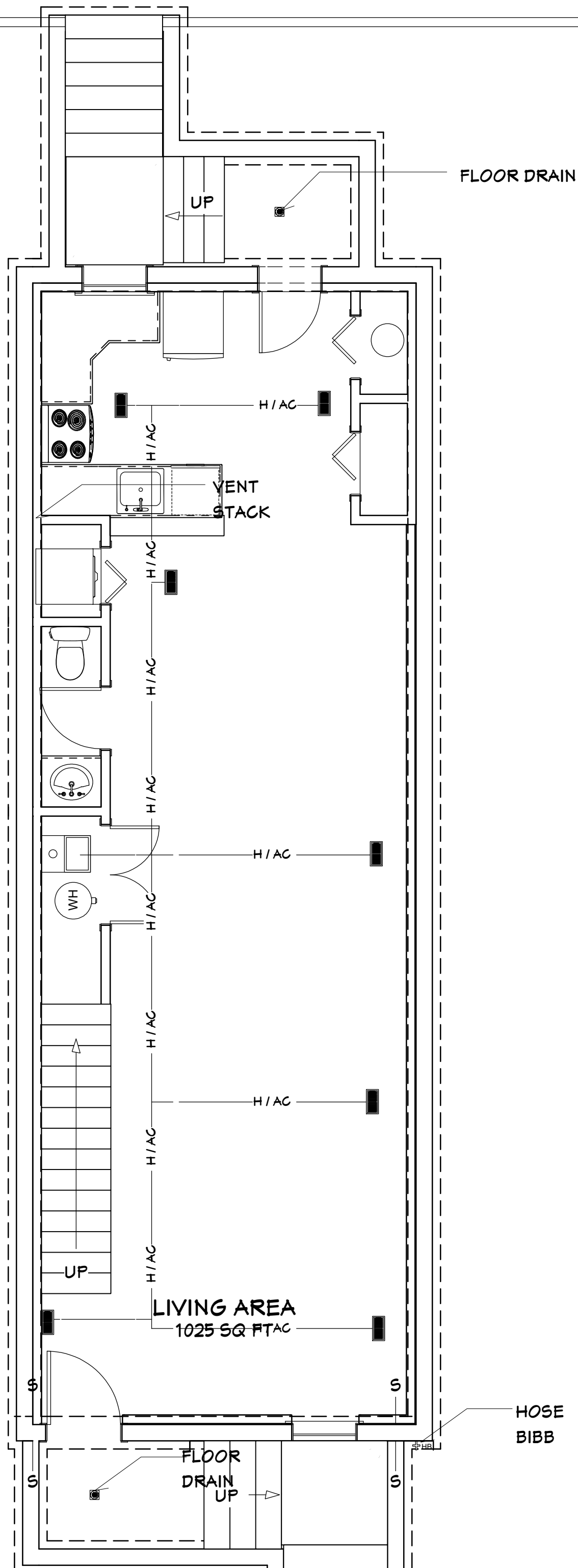
3/24/2019

SCALE:

1/4" = 1'-0"

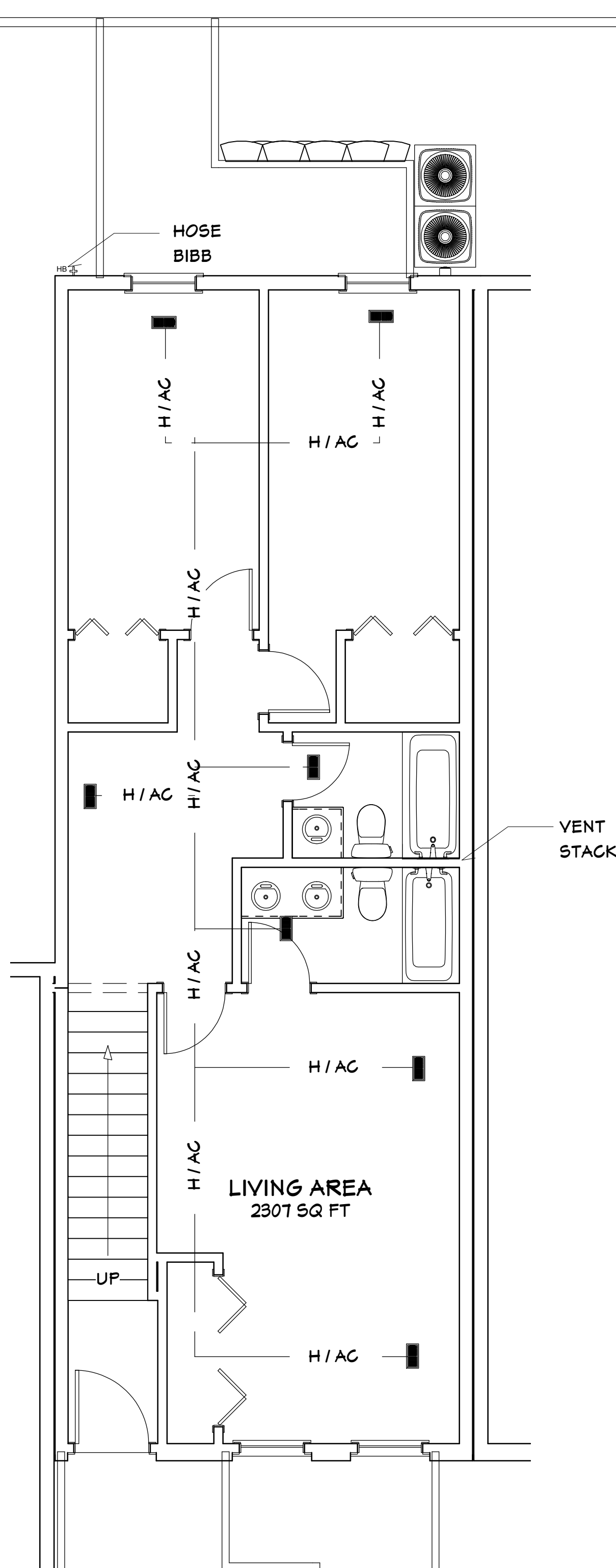
SHEET:

M-1



BSMNT & 2ND FLR

SCALE: 1/4" = 1' - 0"

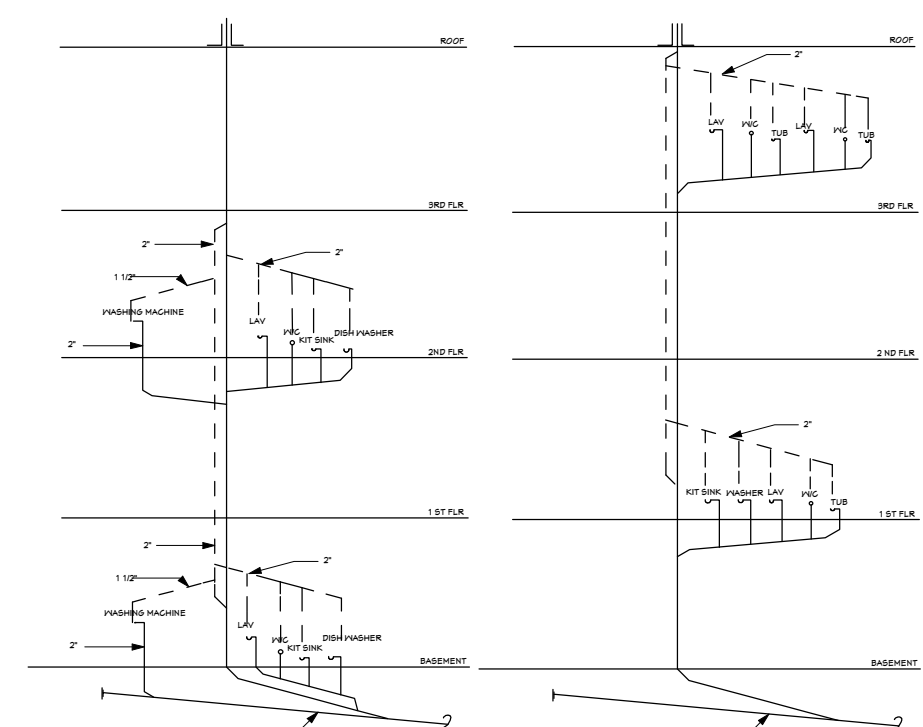


1ST & 3RD FLR

SCALE: 1/4" = 1' - 0"

GENERAL PLUMBING & HVAC NOTES:

1. HVAC SHALL BE SEPARATE FOR EACH UNIT, ONE FOR TWO FLOORS EACH.
2. THE FURNACE AND WATER HEATER ON THE BASEMENT AND 2ND FLOOR.
3. THE FURNACE AND WATER HEATER ON FLOOR 2 SHALL SERVE FLOORS 2 & 3.
4. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
5. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
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7. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
8. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
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10. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
11. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS.
12. INSULATE WASTE LINES FOR SOUND CONTROL.
13. INSTALL CENTRAL VACUUM SYSTEM & PIPING; CONFIRM BRAND WITH HOMEOWNER.



**PLUMB'G
RISER**

SCALE: N.T.S.

PLUMBING SCHEDULE				
FIXTURE	VENT	WASTE	DFU	H/W
C/W SFU				
WATER CLOSET (W/C)	2"	3"	3	-
1/2" 2				
LAVATORY (LAV)	1-1/2"	1-1/2" 1	1/2" 1/2" 1	
TUB	1-1/2"	2"	2	1/2" 1/2"
10				
SHOWER	1-1/2"	2"	2	1/2" 1/2" 5
WASH MACHINE (WASHER)	1-1/2"	2"	3	1/2" 1/2" 3
DISHWASHER	1-1/2"	1-1/2" 1		1/2" 1/2" 1

SHEET TITLE:
**PLUMBING PLANS
LAYOUT**

PROJECT DESCRIPTION:
**645 16TH ST NE
WASHINGTON, DC 20002**

DRAWINGS PROVIDED BY:
**KAE-REE ENTERPRISES
14625 Baltimore Ave. #162
Laurel, MD 20707**

DATE:

3/24/2019

SCALE:

1/4" = 1'-0"

SHEET:

P-1

FLOOR FRAMING & TRUSS NOTES:

FLOOR: 40 PSF LL.

*10 PSF TOP CHORD DL.

*5 PSF BOTTOM CHORD DL.

FLOORS 3 AND 2 SHALL HAVE 22" FLOOR TRUSSES; BOTTOM FLOOR IS CONCRETE SLAB.

SUB-FLOOR SHEATHING SHALL BE H 1.125". SHEATHING IS REQUIRED FOR ANY LONGITUDINAL (DRAG) FORCES.

TRUSSES SPACED AT 24.0" O/C.

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL PLATES ARE 1.5 X 4 UNO

DEFLECTION MEETS L/480 LIVE AND L/360 TOTAL LOAD.

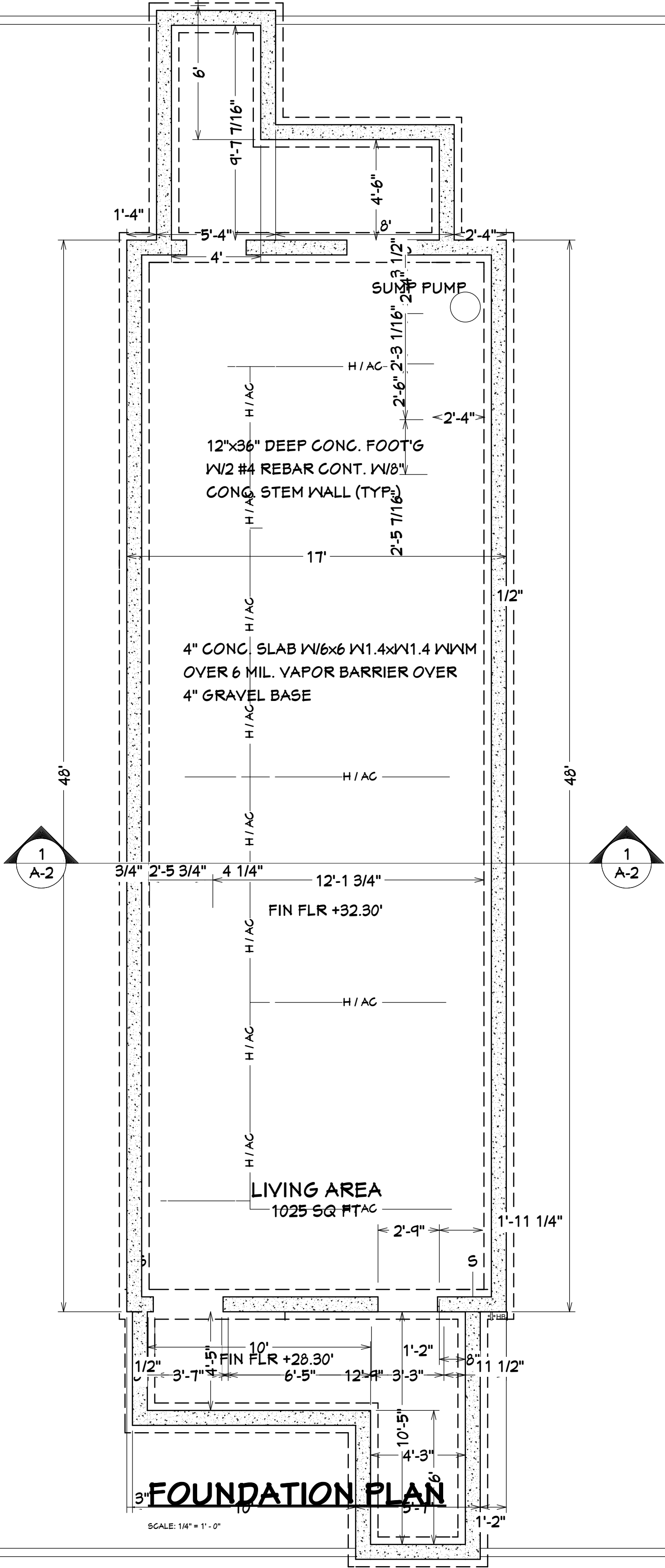
FASTEN RATED SHEATHING TO ONE FACE OF THIS FRAME.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

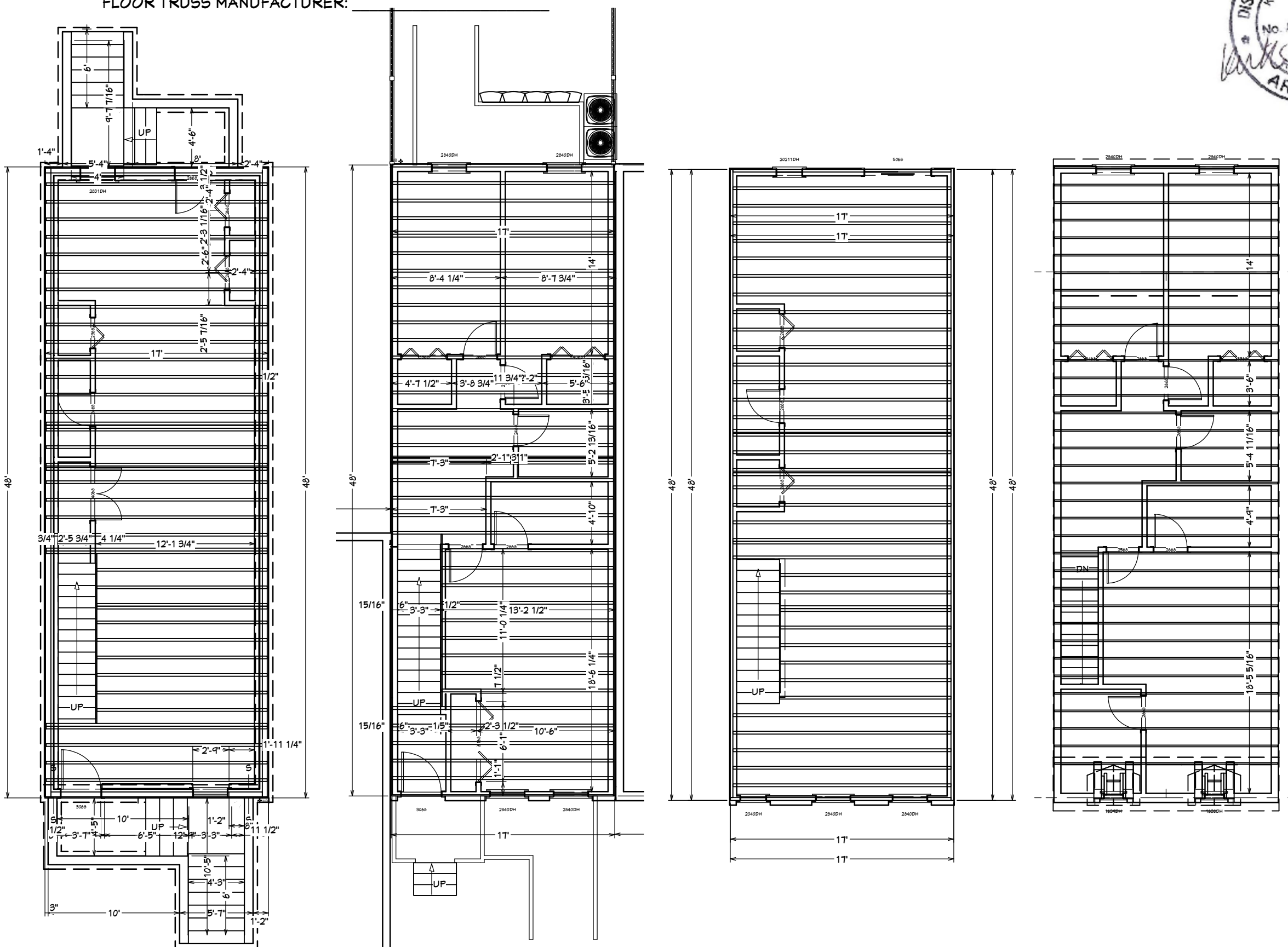
ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL FLOOR TRUSSES SHALL CARRY MANUFACTURERS STAMP.

FLOOR TRUSS MANUFACTURER:



SCALE: 1/4" = 1'-0"



FLR FRAM'G PLANS 1ST, 2ND, & 3RD

SCALE: 1/8" = 1'-0"

ROOF FRAM'G PLAN

SCALE: 1/8" = 1'-0"

SHEET TITLE:
FOUNDATION PLAN & FRAM'G PLANS

PROJECT DESCRIPTION:
**645 16TH ST NE
WASHINGTON, DC 20002**

DRAWINGS PROVIDED BY:
**KAE-REE ENTERPRISES
14625 Baltimore Ave. #162
Laurel, MD 20707**

DATE:
3/24/2019

SCALE:
1/4" = 1'-0" &
1/8" = 1'-0"

SHEET:
S-1